




LOUDOUN COUNTY C-PACE WORKSHOP



November 7, 2019

- 
1. General Overview
 2. Case Studies
 3. Program Guide Highlights
 4. Application Process
 5. Q & A

AGENDA



GENERAL OVERVIEW

VIRGINIA PACE AUTHORITY (VPA)

Building the Future with Commercial PACE Financing

November 7th, 2019

- Loudoun BOS voted unanimously to adopt C-PACE in February 2019
- Loudoun hired Virginia PACE Authority (VPA) after competitive bid process; VPA is also the Program Administrator (PA) for the City of Petersburg
- Loudoun has **cooperative rider** for interested localities
- **VPA** - Non-profit C-PACE PA serving Virginia exclusively:
 - Low administrative fees to encourage use of C-PACE (1.25% of total Project Costs; max \$50,000)
 - Best-in-Class partners - Pace Financial Servicing & Slipstream
 - Partner - MidAtlantic PACE Alliance (MAPA)
 - **Abigail Johnson**, VPA Founder and Executive Director
 - Designed and implemented C-PACE legislation and programs around the country and in the Commonwealth including Virginia C-PACE statutes in 2015 and 2019 (added resiliency and stormwater management)
 - **Deb Rosiello** and **Amy Williams** provide marketing and admin support for VPA
 - **Jessa Coleman**, Business Development & Servicing Partner



WHAT IS C-PACE?

Innovative Financing Tool

November 7th, 2019

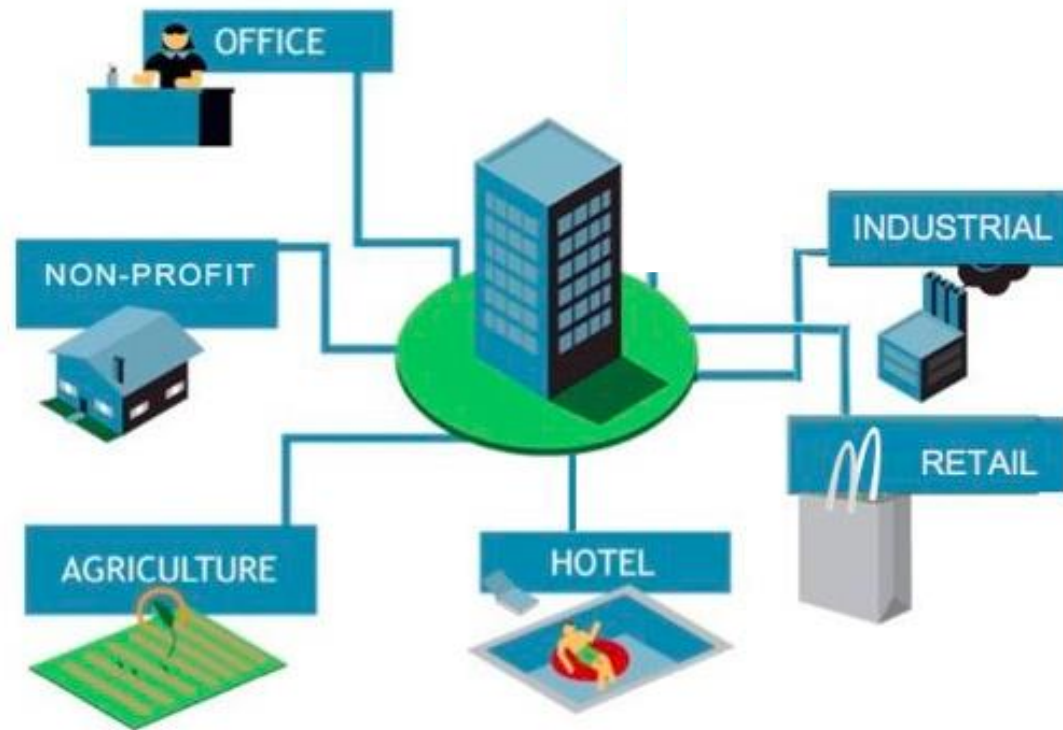
- C-PACE stands for Commercial Property Assessed Clean Energy
- C-PACE becomes active when it is enabled at both the state and local levels through enabling legislation
- Innovative product, financing 100% of building measures related to:
 - Energy efficiency
 - Renewable energy
 - Water efficiency
- Provides gap financing for upgrades to existing buildings or for new construction or gut rehab projects



WHAT IS C-PACE?

Eligible Property Types

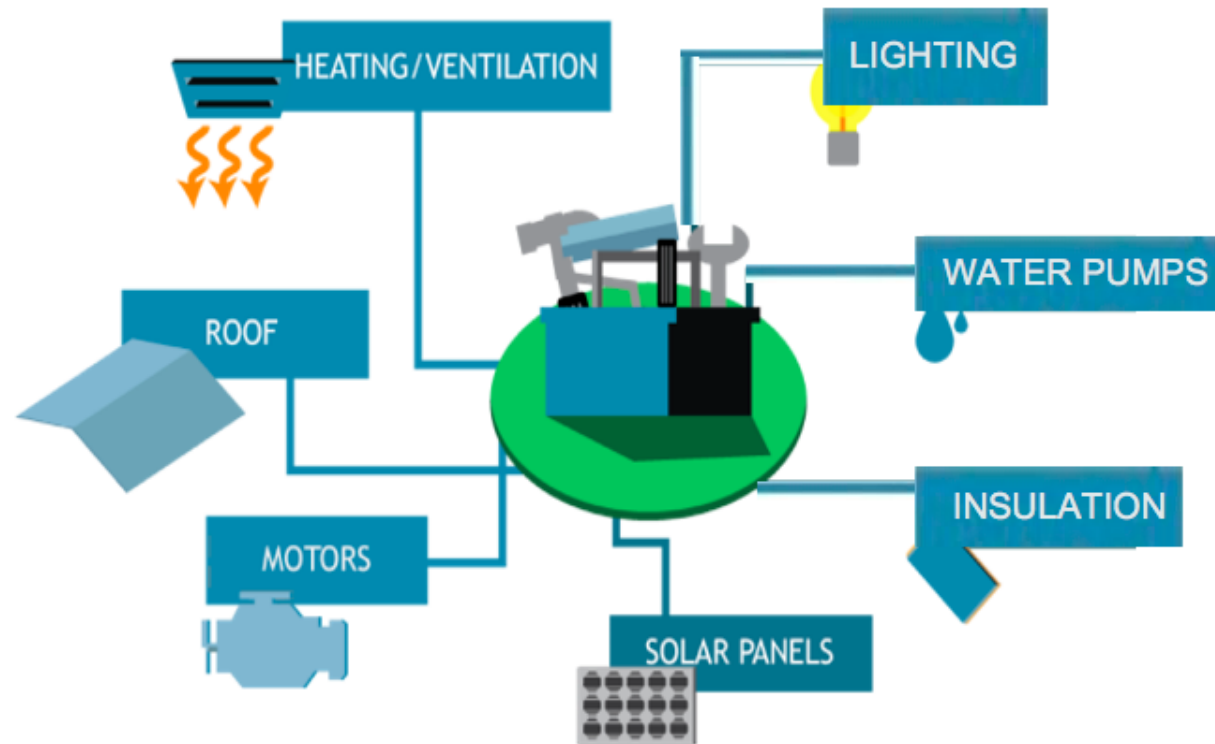
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WHAT IS C-PACE?

Eligible Energy Improvements

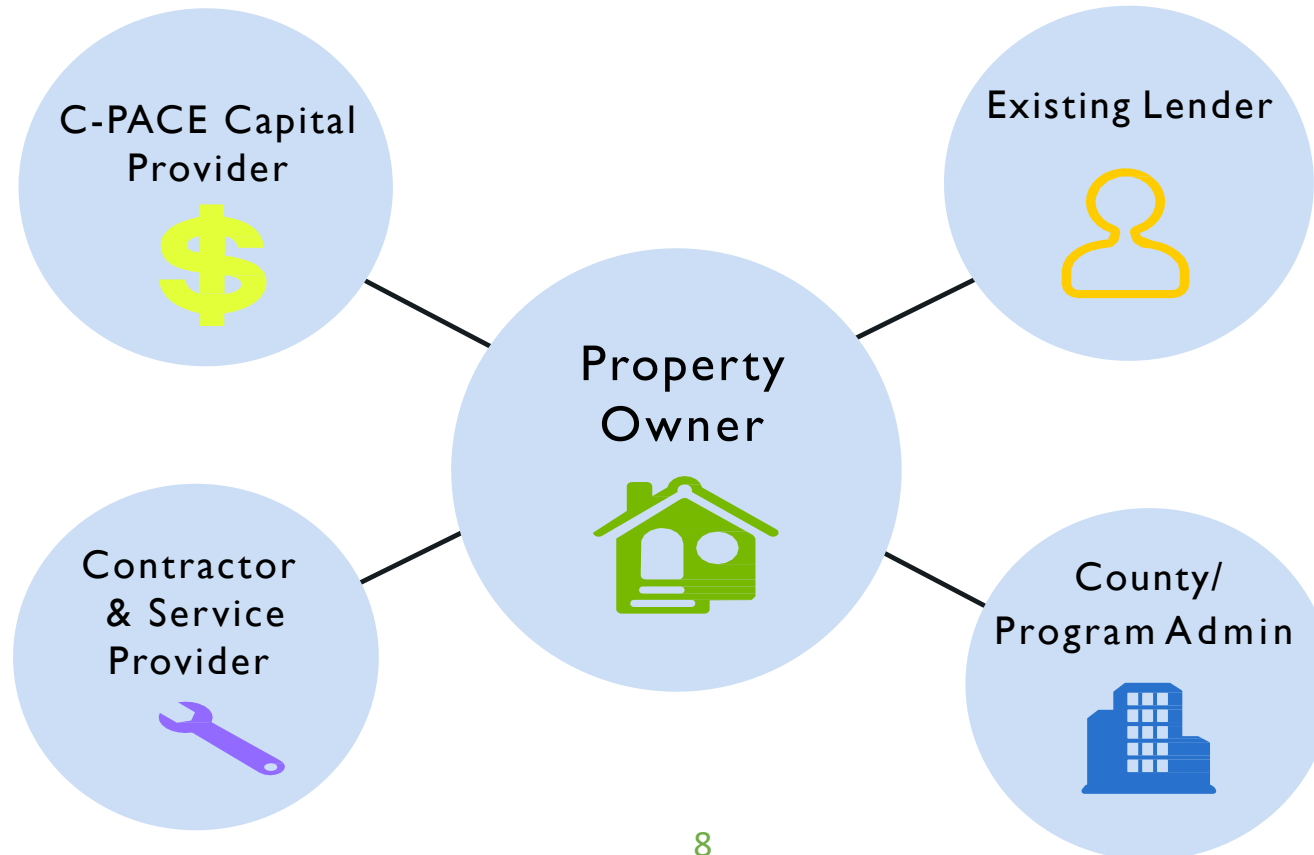
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WHAT IS C-PACE?

C-PACE participants

November 7th, 2019



WHAT IS C-PACE?

A Public-Private Partnership

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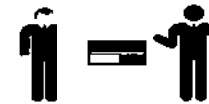
PUBLIC



C-PACE loan secured by special assessment on property

Locality enforces C-PACE loan in case of foreclosure

PRIVATE



Funding provided by private Capital Providers for private owners

Contractors hired privately; do not follow public procurement

Public/Private: C-PACE loan installments are paid back either directly to Capital Providers or to them through the Program Administrator

IDENTIFYING C-PACE OPPORTUNITIES

C-PACE Unlocks Capital

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Barriers for Financing



Lack of funding?

Plan to sell building?

Payback period too long?

Tenant pays energy bills?

Unsure if savings will appear?

Borrower has untraditional credit history?

How PACE Unlocks Capital



100% upfront, 25+ year financing

Obligation transfers with property

Positive cash flow in year 1

Assessment/savings pass to tenants

Technical review by program administrator

Secured by property – not by owner
guarantee or credit score

IDENTIFYING C-PACE OPPORTUNITIES

C-PACE for Different Borrowers

November 7th, 2019



Owners Who Have Financing Challenges

- Owners with **“Zero Cash Down”** Focus
- Owners **without access to competitive Capital** (Non-Investment Grade Credit)



Owners in Need of Flexibility

- Buildings that **may sell before full payoff**
- Building where **tenants pay energy bill** but owner finances upgrades
- Project has longer payback period



Owners with Tax Appetite Love C-PACE

- Full realization of tax credits – including solar ITC
- Accelerated depreciation benefits (MACRS)



Owners Focused on Net Operating Income

- Prefer Operating vs. Capital Expenditures
- Don't want balance sheet tied up with debt
- Want to own vs. lease

- C-PACE is perfect for projects that contractors know are “locked” (the owner knows there is a need but can't afford to fill that need)
- C-PACE is a way for a project to avoid being “value engineered” to small or to nothing (C-PACE helps you avoid cutting otherwise excess costs)
- C-PACE is a way to “go deep” on a job (can add HVAC, deferred maintenance, etc.)

EFFECTIVE GAP FINANCING

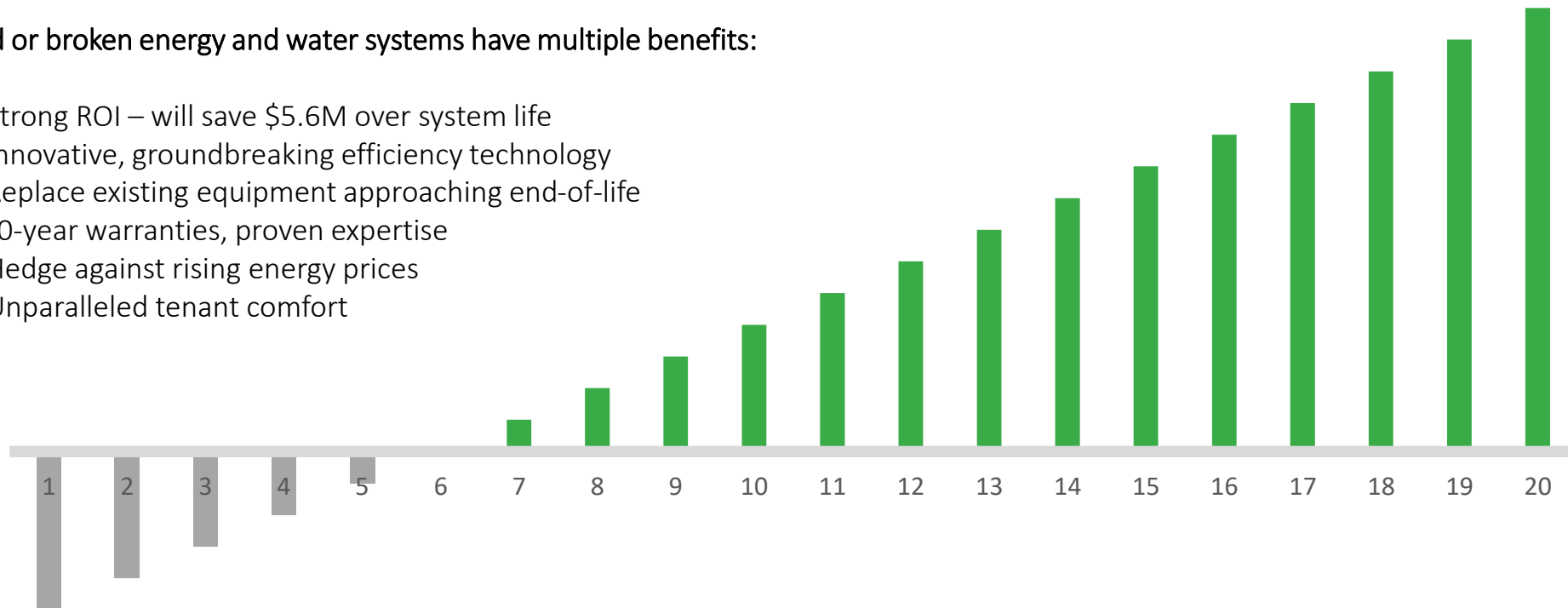
Projects Face an All Too Familiar Scenario....

November 7th, 2019

Sample \$2M Project with \$320,000 in Annual Savings (~6.25 Year Simple Payback)

Replacing old or broken energy and water systems have multiple benefits:

- ✓ Strong ROI – will save \$5.6M over system life
- ✓ Innovative, groundbreaking efficiency technology
- ✓ Replace existing equipment approaching end-of-life
- ✓ 20-year warranties, proven expertise
- ✓ Hedge against rising energy prices
- ✓ Unparalleled tenant comfort



EFFECTIVE GAP FINANCING

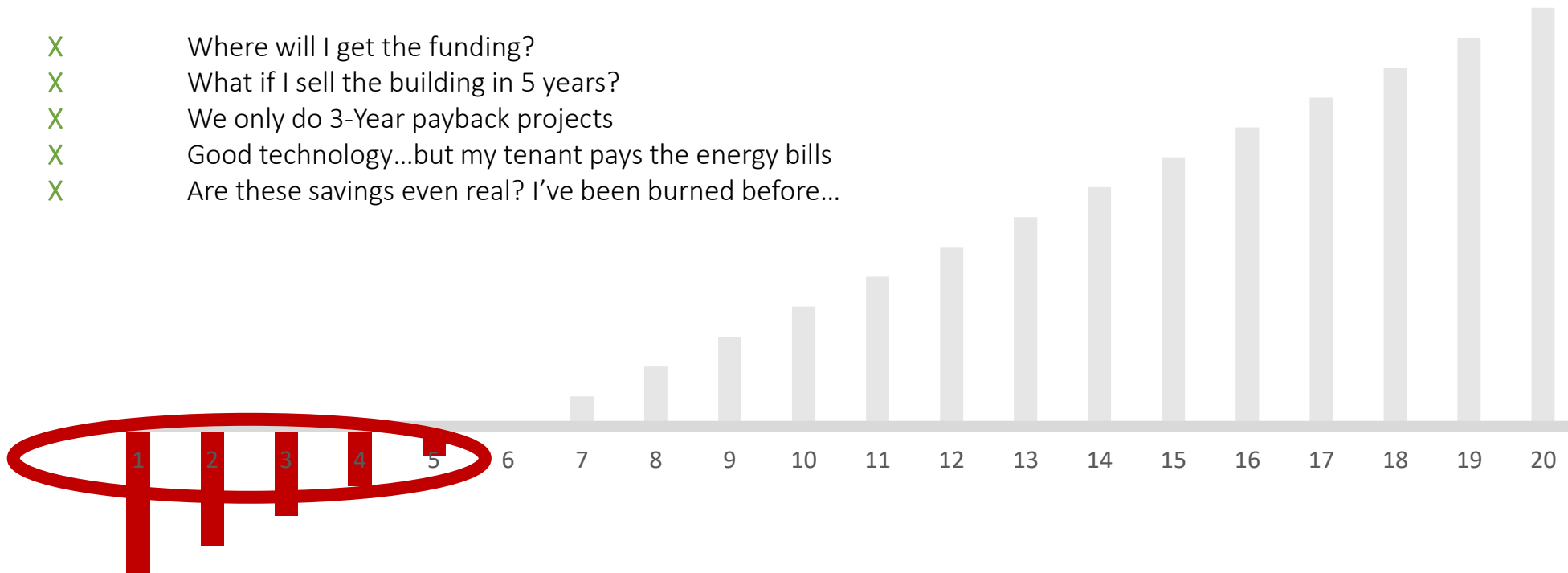
Projects Face an All Too Familiar Scenario....

November 7th, 2019

Sample \$2M Project with \$320,000 in Annual Savings (~6.25 Year Simple Payback)

But treatment of energy improvements as Capex investment considers only short-term costs:

- X Where will I get the funding?
- X What if I sell the building in 5 years?
- X We only do 3-Year payback projects
- X Good technology...but my tenant pays the energy bills
- X Are these savings even real? I've been burned before...



EFFECTIVE GAP FINANCING

C-PACE Makes “Unfinanceable” Projects Financeable

November 7th, 2019

Sample \$2M Project with \$320,000 in Annual Savings (~6.25 Year Simple Payback)

| | Cash | Bank Loan | PACE Assessment |
|------------------------------|---------------|-------------------|-----------------|
| Down payment amount | (\$2,000,000) | 15% - (\$300,000) | \$0 |
| Loan amount | \$0 | \$1,700,000 | \$2,000,000 |
| Loan term | NA | 5 yrs | 20 yrs |
| Interest rate | NA | 4.00% | 6.25% |
| Annual Cash Flow | | | |
| Annual payment | NA | (\$382,295) | (\$180,978) |
| Annual energy savings | \$320,000 | \$320,000 | \$320,000 |
| Net annual cash flow | \$320,000 | (\$62,295) | \$139,022 |
| 5-Year Financial Performance | | | |
| 5-Year Net Cash Flow | (\$400,000) | (\$611,475) | \$695,110 |
| 5-Year NPV @ 6% | (\$258,430) | (\$530,574) | \$585,611 |
| 5-Year IRR | -7% | NA | Infinite |

¹ Assumes no utility cost escalation and no performance degradation to simplify case study

Note: C-PACE transforms what are typically paid as Capex investments into Opex expenses, making most projects cash flow positive from day one.



CASE STUDIES

New Construction: Audi Field

Description: Plans for a new 20,000 seat stadium for the D.C. United soccer team required additional investment

Challenge: Unlock additional funds to green the stadium to LEED Gold standards and extend sustainability commitments

Solution: D.C. United worked with DC PACE to integrate \$25 million of PACE financing into the \$300 million stadium project. C-PACE unlocked additional funds to green the stadium to LEED Gold standards, incorporating integrated solar, LED field lighting, and aggressive stormwater management measures.

Financing: \$25,000,000 (in a \$350,000,000 project)

Measures Financed:

- 884 kW Solar System
- High Efficiency HVAC Systems
- LED Field Lighting
- Insulation
- Site Stormwater Conservation
- Green Roof
- Low Flow Water Fixtures

Savings: Improvements are expected to reduce energy use by 25%

Main Street Business



The Finishing Touch

Description: The Finishing Touch, a custom frame and print boutique in downtown Chestertown, MD, had air conditioners and windows that dated back to 1978. These outdated HVAC systems were inefficient and expensive to operate.

Solution: The property owner focused on tenant experience and operational costs as motivation to upgrade the 60+ year old HVAC system and high efficiency windows throughout. The mixed-use building was vastly improved and is now more tailored toward customer and renter comfort.

Financing: \$134,408

Measures Financed:

- HVAC upgrades
- Replacement of more than 1,000 sq ft of low R-value glass

Savings:

\$7,000 in the first year and \$300,704 in lifetime savings!

Renovation/ Adaptive Reuse



Brown's Arcade

Description: Brown's Arcade is a mixed-use commercial building encompassing both retail and business offices. It was constructed in the 18th century and is therefore listed on the National Registry of Historic Places. It is the only building of its kind left in the City of Baltimore, and the last known building of its kind in the state. Its historic roots shine through in embellished Colonial Revival details.

"We are very excited about this opportunity to re-position and transform this historic building with new retail concepts and multifamily apartments in downtown Baltimore alongside our recent acquisition of Brown's Loft which sits on the same 300 block of N Charles Street." – Kelvin Fu, GL Capital

Measures Financed:

- Water conservation measures
- Building enclosure improvements
- Lighting replacements
- New automated building & HVAC controls

Basic Retrofit



Medical Office Building

Description: Recently purchased medical office building with pharmacy in need of extensive renovations

Financing: \$800,000

Measures Financed:

- Air handling units and thermostat
- Modern elevator controls
- LED lighting
- Roof insulation
- TPO roofing

| Projected Energy Savings (Cumulative) | | | EUL | Projected Energy Savings (Annual Average) | | |
|---------------------------------------|------|------|-------|---|-----|-----|
| kWh | BTU | \$ | years | kWh | BTU | \$ |
| 4.7m | 329m | 857k | 20 | 235k | 16m | 43k |

Non-Profit



Re-entry Center

Description: A Baltimore-based non-profit wanted to expand the capabilities of its residential re-entry center by building out 5,000 square feet of unused space in their facility. The goal of this project was to complete the planned build out while incorporating energy and water efficient equipment.

Challenge: Underwriting cash flows of a non-profit; many NPOs do not think they are eligible for PACE financing

Financing: \$785,000

Measures Financed:

- Insulation and Building Envelope Improvements
- New HVAC and Electrical Installation

Savings: \$3,100 in the first year and \$80,000 in lifetime savings



PROGRAM GUIDE HIGHLIGHTS

PROGRAM GUIDE HIGHLIGHTS

Eligible Property Types and Improvements

November 7th, 2019

Eligible Property Types

- All commercial such as office, industrial, hospitality, retail, agricultural, and real property (e.g. ground mounted solar)
- Nonprofit organizations
- Residential including single family, **multifamily**, condominiums (individual units and common areas) are not eligible
- Public buildings are not eligible



Eligible Improvements

- **Energy and water efficiency:** Any measure that results in reduction in energy/water consumption over a baseline established by an Energy Analysis
- **Renewable energy:** Any system that generates energy from a renewable source
- **Future:** Resiliency and stormwater management measures

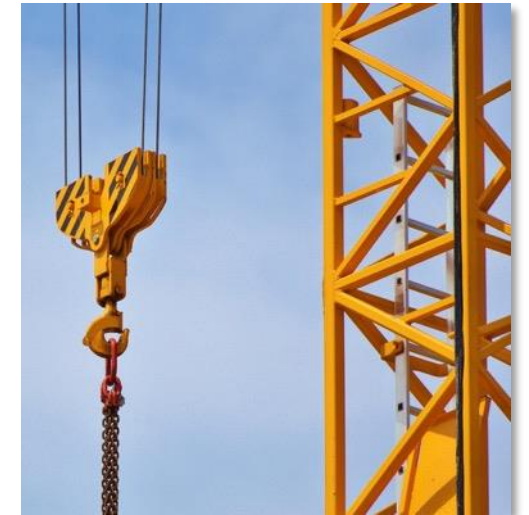


PROGRAM GUIDE HIGHLIGHTS

Eligible Projects

November 7th, 2019

- Existing building upgrades and new construction projects
- Project term:
 - One Eligible improvement: **Not to exceed EUL⁽¹⁾ or 30 years**, whichever is less
 - Multiple Eligible Improvements: **Not to exceed EUL of Improvement with longest EUL or 30 years**, whichever is less
- Property value: Assessed or appraised both acceptable
- Project improvements must be permanently affixed during the term of the loan
- Financing thresholds:
 - \$50,000 min
 - \$25,000,000 max or 30% of Stabilized Value⁽²⁾, whichever is greater



1. EUL = Expected Useful Life
2. Stabilized Value - The market value of the property after it reaches stabilized occupancy as evidenced by an appraisal of the property

PROGRAM GUIDE HIGHLIGHTS

Energy Analysis Requirements

November 7th, 2019

- **Credentials and Standards of Energy Analysis:**
 - Must be performed by Qualified Energy Professional
 - Must meet minimum requirements described in the Program Guide
- **Methodology:**
 1. For **Existing Buildings**, document energy and/or water consumption of Property or individual, relevant systems, OR For **New Construction**, utilize a statutory energy code baseline usage, AND
 2. Include calculations of expected energy and/or water monetary savings to be achieved
 - *Quantifiable expected savings during the term of the C-PACE Loan over the baseline usage must be demonstrated*
- **New Construction/Gut Rehab Methodology:**
 1. Itemization of Individual Eligible Improvements: 100% of cost of each measure > code is eligible
 2. Whole Building savings:
 - Exceed code minimum up to 5% => fund up to 20% of total Project Costs
 - Exceed code minimum by more than 5% => fund up to 25% of total Project Costs



PROGRAM GUIDE HIGHLIGHTS

Eligible Property Owners, Capital Providers, and Contractors

November 7th, 2019



Property Owners (Borrowers):

- Eligibility follows state law requirements (title holder of property, no delinquent taxes, liens, loan payments; no bankruptcies, etc.)



Capital Providers:

- Open market program where participation by a wide variety of capital providers is encouraged and supported
- To qualify, fill out and sign RFQ and Agreement found on the website



Contractors:

- All work requiring a license must be installed by a licensed contractor
- To sign up as a Contractor, fill out the registration form and sign the Contractor Terms and Conditions found on the website; all installation contractors, licensed engineers and architects, energy auditors, solar installers/developers, and other service providers can register

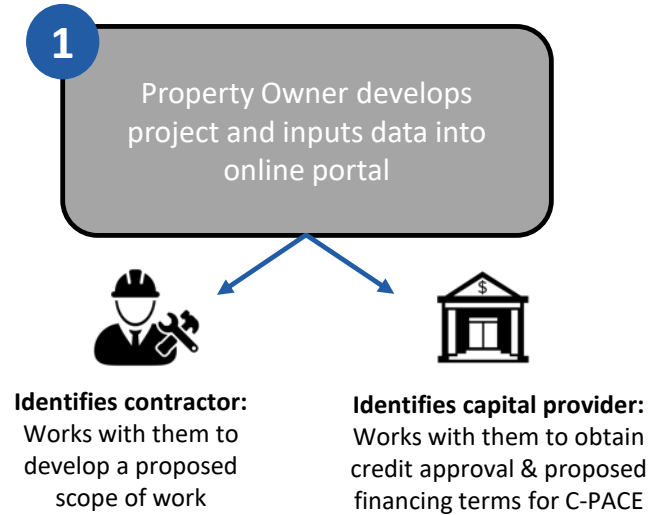


APPLICATION PROCESS

APPLICATION PROCESS

Steps to C-PACE Financing

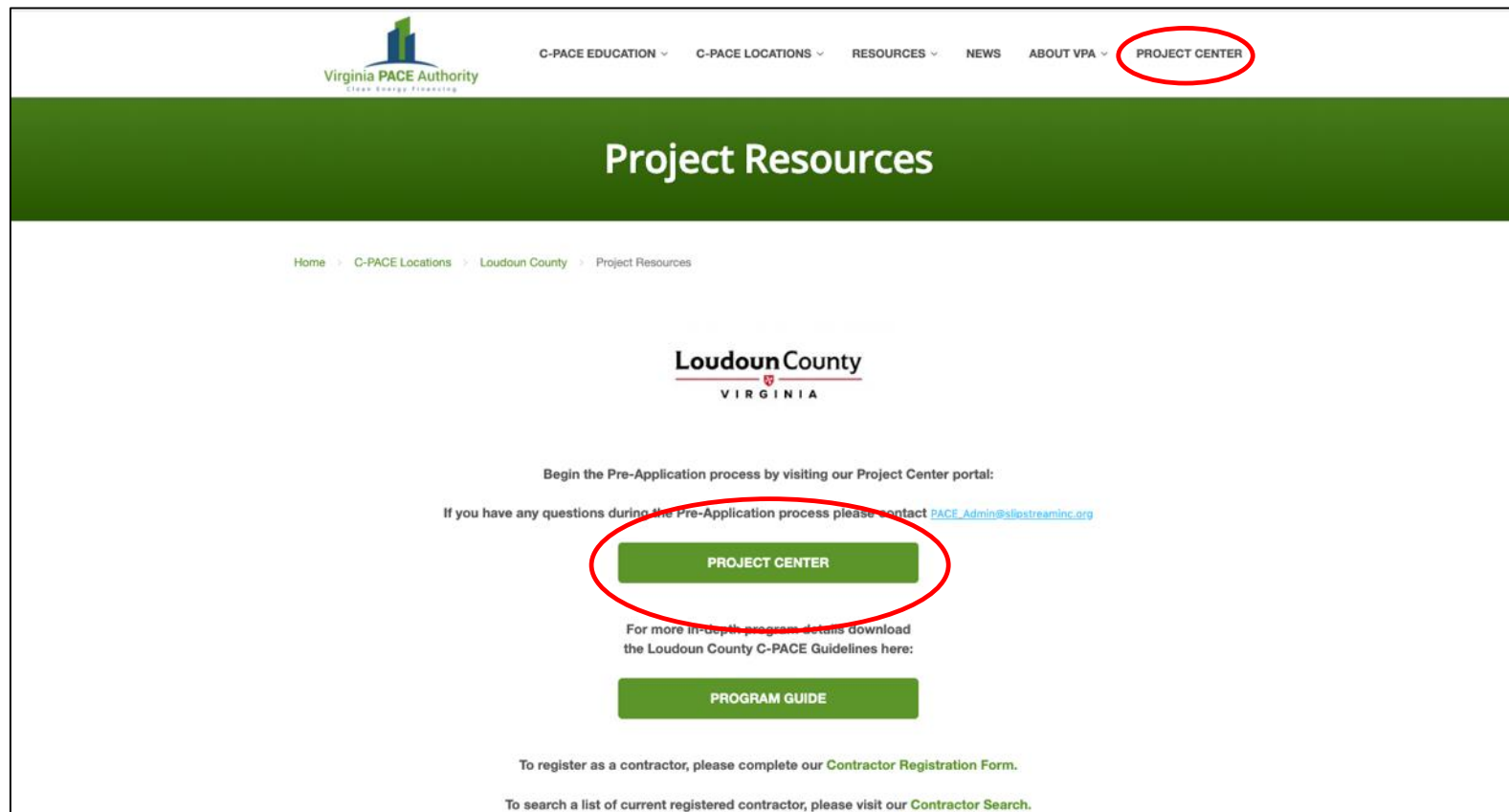
November 7th, 2019



APPLICATION PROCESS

Virginia PACE Authority website

November 7th, 2019

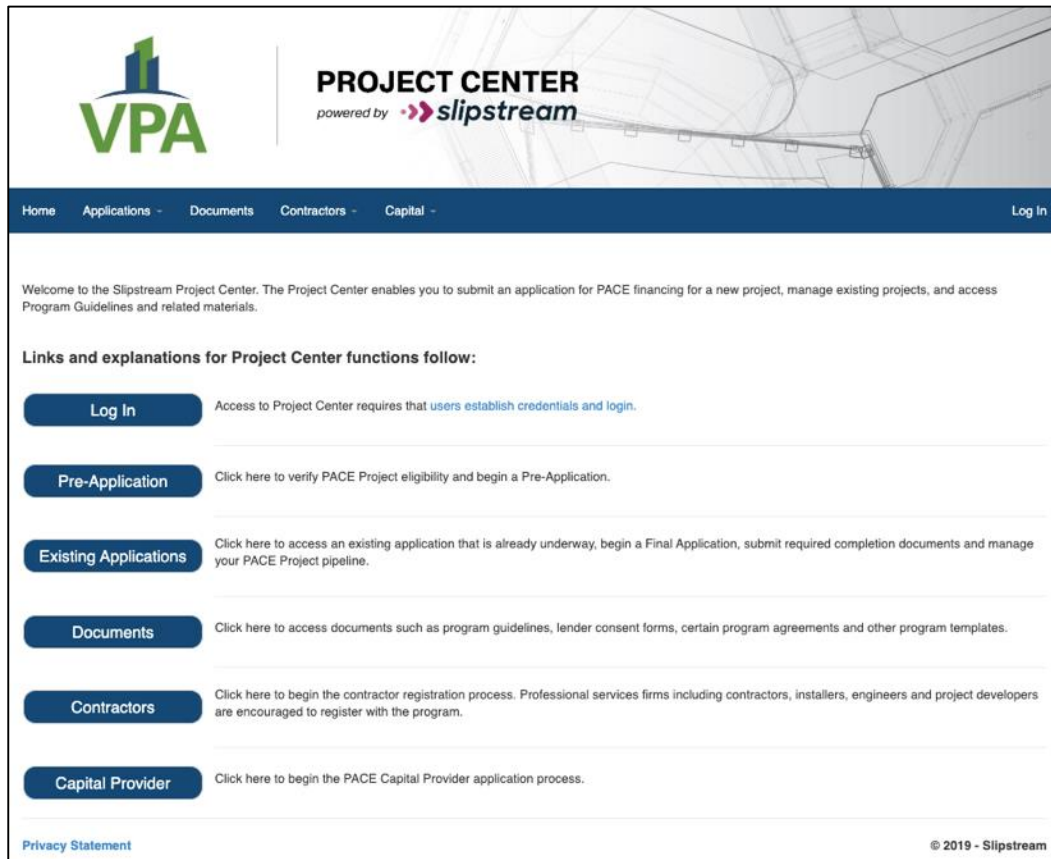


The screenshot displays the Virginia PACE Authority website. At the top, the navigation menu includes 'C-PACE EDUCATION', 'C-PACE LOCATIONS', 'RESOURCES', 'NEWS', 'ABOUT VPA', and 'PROJECT CENTER', with the latter circled in red. Below the navigation is a green banner with the text 'Project Resources'. A breadcrumb trail reads 'Home > C-PACE Locations > Loudoun County > Project Resources'. The main heading is 'Loudoun County VIRGINIA'. The text instructs users to 'Begin the Pre-Application process by visiting our Project Center portal:' and provides contact information: 'If you have any questions during the Pre-Application process please contact PACE_Admin@slstreaminc.org'. A green button labeled 'PROJECT CENTER' is circled in red. Below this, it says 'For more in-depth program details download the Loudoun County C-PACE Guidelines here:' followed by a green button labeled 'PROGRAM GUIDE'. At the bottom, it mentions 'To register as a contractor, please complete our [Contractor Registration Form](#).' and 'To search a list of current registered contractor, please visit our [Contractor Search](#)'.

APPLICATION PROCESS

Application portal - Slipstream

November 7th, 2019



The screenshot shows the Project Center homepage. At the top is the VPA logo and the text "PROJECT CENTER powered by slipstream". Below this is a navigation bar with links: Home, Applications, Documents, Contractors, Capital, and Log In. The main content area welcomes users and provides links and explanations for Project Center functions. These include: Log In (Access to Project Center requires that users establish credentials and login.), Pre-Application (Click here to verify PACE Project eligibility and begin a Pre-Application.), Existing Applications (Click here to access an existing application that is already underway, begin a Final Application, submit required completion documents and manage your PACE Project pipeline.), Documents (Click here to access documents such as program guidelines, lender consent forms, certain program agreements and other program templates.), Contractors (Click here to begin the contractor registration process. Professional services firms including contractors, installers, engineers and project developers are encouraged to register with the program.), and Capital Provider (Click here to begin the PACE Capital Provider application process.). At the bottom, there is a Privacy Statement link and a copyright notice: © 2019 - Slipstream.

PROJECT CENTER
powered by slipstream

Home Applications Documents Contractors Capital Log In

Welcome to the Slipstream Project Center. The Project Center enables you to submit an application for PACE financing for a new project, manage existing projects, and access Program Guidelines and related materials.

Links and explanations for Project Center functions follow:

Log In Access to Project Center requires that users establish credentials and login.

Pre-Application Click here to verify PACE Project eligibility and begin a Pre-Application.

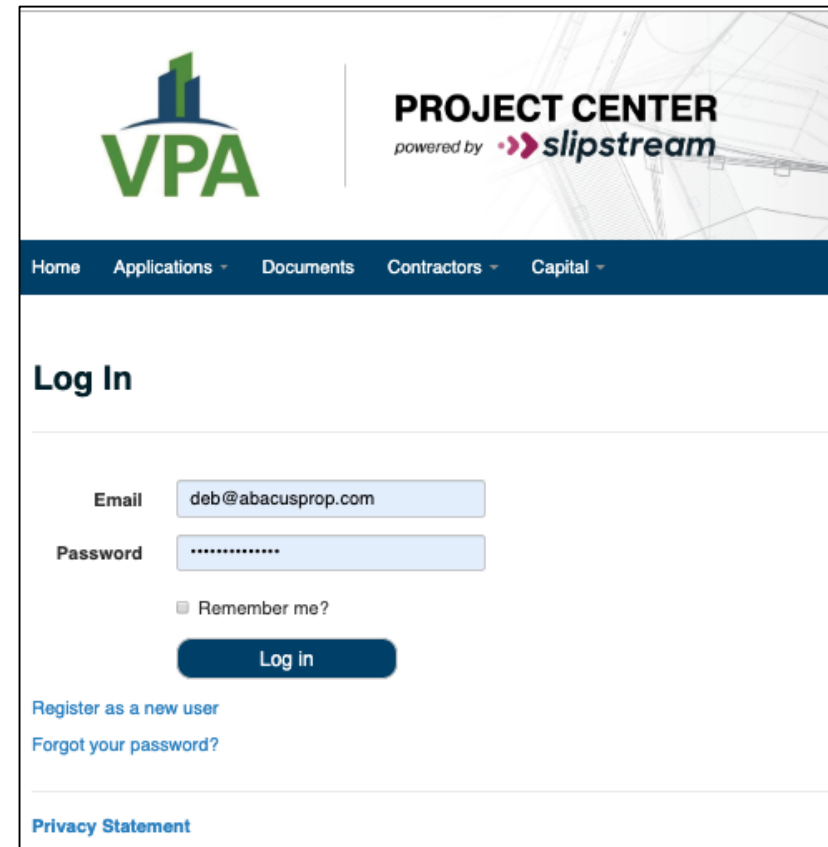
Existing Applications Click here to access an existing application that is already underway, begin a Final Application, submit required completion documents and manage your PACE Project pipeline.

Documents Click here to access documents such as program guidelines, lender consent forms, certain program agreements and other program templates.

Contractors Click here to begin the contractor registration process. Professional services firms including contractors, installers, engineers and project developers are encouraged to register with the program.

Capital Provider Click here to begin the PACE Capital Provider application process.

[Privacy Statement](#) © 2019 - Slipstream



The screenshot shows the Project Center Log In page. It features the same VPA logo and "PROJECT CENTER powered by slipstream" header as the homepage. The navigation bar is identical. The main content area is titled "Log In" and contains a form with fields for Email (deb@abacusprop.com) and Password (masked with dots). There is a "Remember me?" checkbox and a "Log in" button. Below the form are links for "Register as a new user" and "Forgot your password?". At the bottom, there is a "Privacy Statement" link.

PROJECT CENTER
powered by slipstream

Home Applications Documents Contractors Capital

Log In

Email deb@abacusprop.com

Password

☐ Remember me?

Log in

[Register as a new user](#)


[Forgot your password?](#)


[Privacy Statement](#)

APPLICATION PROCESS

Pre-Application

November 7th, 2019



PROJECT CENTER
powered by  slipstream

Home Applications Documents Contractors Capital Log Off: deb@abacusprop.com

Pre-Application

The Pre-Application verifies program eligibility before investment in project development begins.

You will be notified of your status within two business days of receipt of a completed Pre-Application.

PROPERTY LOCATION

Address Line 1*

1 Harrison St SE

Address Line 2

State*

VA

County*

Loudoun

City*

Leesburg

Zip*

20175

POINT OF CONTACT INFORMATION

First Name*

Deb

Last Name*

Rosiello

Company Legal Name*

Abacus Property Solutions

Job Title

Owner

Email*

deb@abacusprop.com

Phone*


(203) 241-5307


Next

* Indicates a required field.

Privacy Statement

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PROJECT CENTER
powered by  slipstream

Home Applications Documents Contractors Capital Log Off: deb@abacusprop.com

Property Owner Information

Property: 111 Main Street, Dulles VA 20175

The pre-application for your proposed PACE Project has been pre-approved! Please provide the information below, and on the subsequent pages, in order to complete the final application.

Property Owner Legal Name

I love pace2

Property Owner Business Classification

LLC

Property Type

Hospitality

Federal Tax Identification Number*

Property Value*

\$10,000,000.00

Valuation Source*

Assessed Value

Have you ever filed for bankruptcy or is the property currently an asset to a bankruptcy?

☐ Yes ☒ No

Are there delinquent property taxes, utility payments, or property-secured debt payments for the property?

☐ Yes ☒ No

Are any involuntary liens recorded against the property?

☐ Yes ☒ No

NOTE: Answering yes to the questions above may not prevent you from accessing PACE. Slipstream will contact you to request additional information regarding your responses.

Next

Click Next to Save

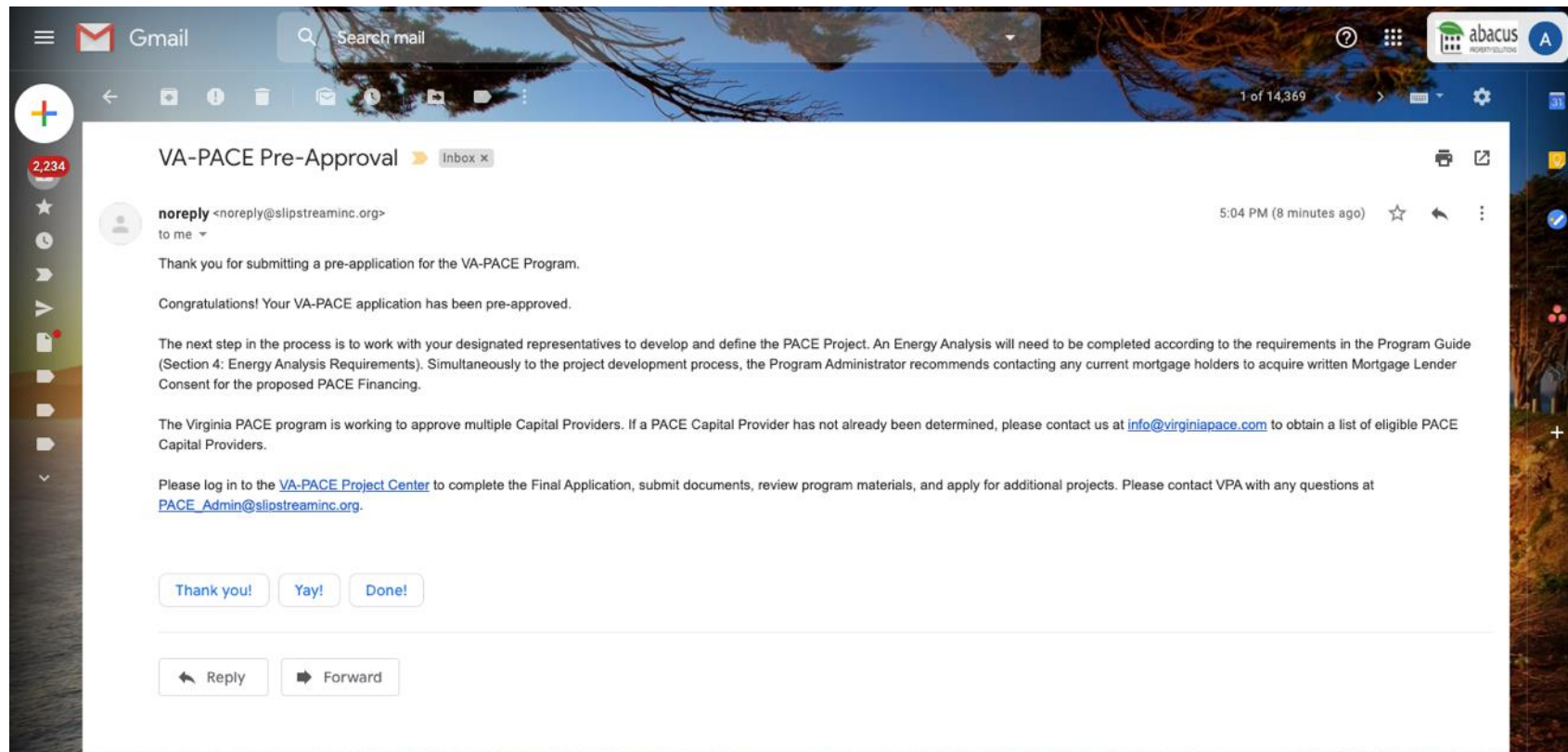
* Indicates a required field

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APPLICATION PROCESS

Pre-Application

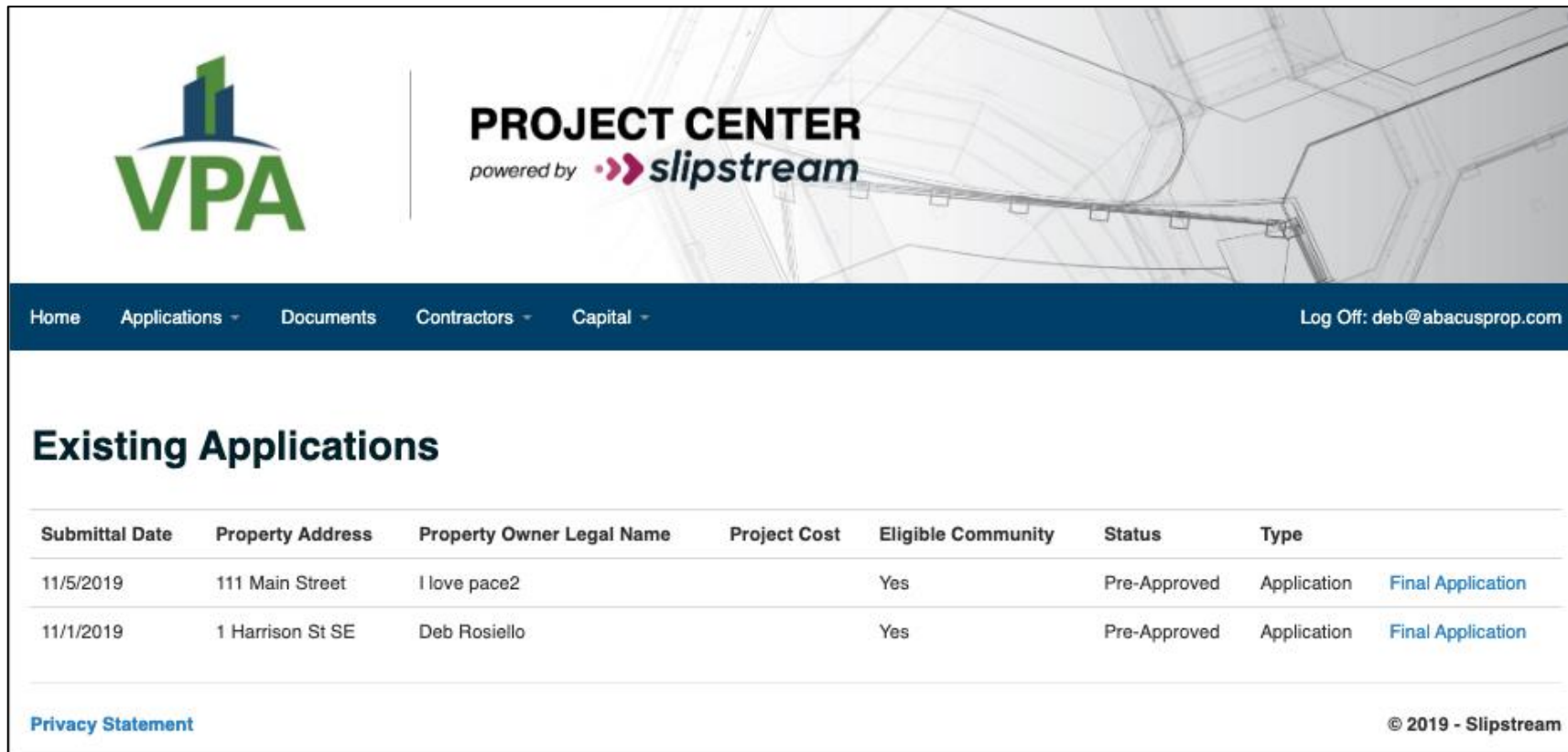
November 7th, 2019



APPLICATION PROCESS

Project pipeline

November 7th, 2019



The screenshot displays the 'PROJECT CENTER' website, powered by slipstream. The header includes the VPA logo and navigation links: Home, Applications, Documents, Contractors, and Capital. A 'Log Off' link for 'deb@abacusprop.com' is also present. The main content area is titled 'Existing Applications' and features a table with the following data:

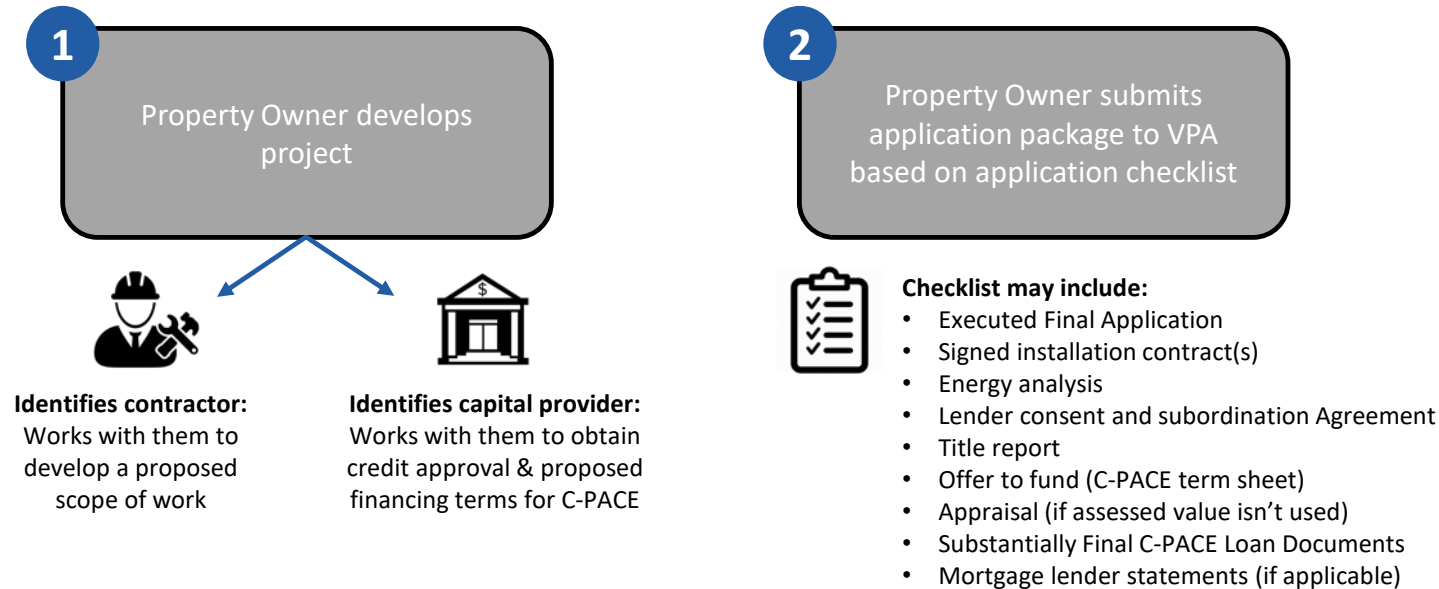
| Submittal Date | Property Address | Property Owner Legal Name | Project Cost | Eligible Community | Status | Type |
|----------------|------------------|---------------------------|--------------|--------------------|--------------|---|
| 11/5/2019 | 111 Main Street | I love pace2 | | Yes | Pre-Approved | Application Final Application |
| 11/1/2019 | 1 Harrison St SE | Deb Rosiello | | Yes | Pre-Approved | Application Final Application |

At the bottom left, there is a link for 'Privacy Statement', and at the bottom right, the copyright notice '© 2019 - Slipstream' is displayed.

APPLICATION PROCESS

Steps to C-PACE Financing

November 7th, 2019



APPLICATION PROCESS

Final Application

November 7th, 2019

VA-PACE Final Application



The purpose of this Final Application is to confirm property owners and proposed PACE Projects meet all eligibility requirements set forth in the VA-PACE Program Guide. The data collected here and document submissions are required to complete this verification process. Once the Program Administrator completes a review of this information, approved PACE Projects will receive a Notice of VA-PACE Approval letter. If the Program Administrator determines that the Final Application is incomplete then the Applicant will receive a request for more information. A copy of this Final Application signed by the key principal(s) is a required document.

CONTACT: For questions about VA-PACE or application status, email PACE_Admin@slipstreaminc.com.

PROPERTY LOCATION

Address Line 1 1 Harrison St SE **County** Loudoun
Address Line 2 **State** VA
City Leesburg **ZIP** 20175

POINT OF CONTACT INFORMATION

Business Contact Name Deb Rosiello **Company Legal Name** Abacus Property Solutions
Title (Job Title) Administrative Assistant
Business Contact Phone (203) 241-5307 **Business Contact Email** deb@abacusprop.com

PROPERTY OWNER INFORMATION

Property Owner Legal Name Deb Rosiello
Property Owner Business Classification Test Run
Key Principal Name **Title**
Deb Rosiello Owner
Property Type Nonprofit
Value of Property \$300,000.00 **Valuation Source** Other

Have you ever filed for bankruptcy or is the property currently an asset to a bankruptcy? No

Are there delinquent property taxes, utility payments, or property-secured debt payments for the property? No

Are any involuntary liens recorded against the property? No



PROJECT CENTER
powered by slipstream

Home Applications Documents Contractors Capital Log Off: deb@abacusprop.com

Documents Property: 1 Harrison St SE, Leesburg VA 20175

Please upload a copy of each of the required documents itemized in the table below by clicking the Add Document link next to the corresponding document. This system only accepts file types .pdf, .jpeg and .jpg. The maximum document file size that can be uploaded is 15 megabyte.

A signed copy of the Final Application will need to be uploaded to this site as a document. Click on a link below to have the Final Application emailed to the contact or each of the Key Principals. This document will need to be signed and scanned. By signing this application the Property owner(s) certifies that it meets the Eligible Property Owner requirements.

Email Contact Person

Click this link to email the Final Application to the contact person only.

Email Contact Person and Key Principals

Click this link to email the Final Application to the contact person and each Key Principal.

| Required Document | Received |
|---|---|
| Executed Final Application* | <input checked="" type="checkbox"/> Remove Document |
| Signed Installation Contract(s)* † | <input checked="" type="checkbox"/> Remove Document |
| Energy Analysis* | <input checked="" type="checkbox"/> Remove Document |
| Lender Consent and Subordination † | <input checked="" type="checkbox"/> Remove Document |
| Title Report | <input checked="" type="checkbox"/> Remove Document |
| Substantially Final C-PACE Loan Documents | <input checked="" type="checkbox"/> Remove Document |
| Mortgage loan statement(s) † | <input checked="" type="checkbox"/> Remove Document |

All required documents must be submitted to Slipstream prior to Final Approval. See Program Guidelines for specific instructions about required documentation.

Previous

Submit

* Document must be provided before the final application can be submitted.

† NOTE: If submitting multiple items for a single Required Document type, please merge all documents into a single PDF before uploading.

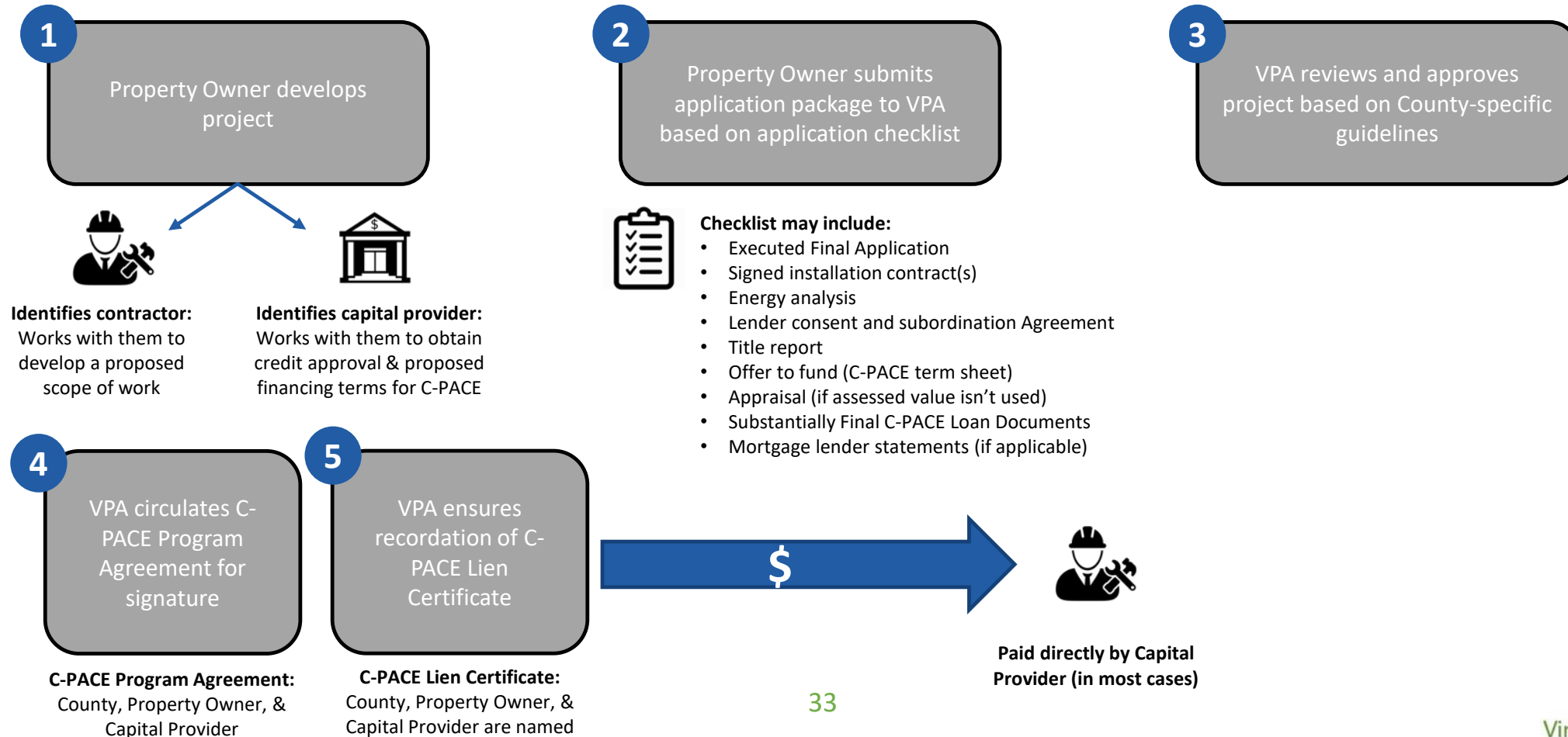
[Privacy Statement](#)

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APPLICATION PROCESS

Steps to C-PACE Financing

November 7th, 2019



COLLECTION & REMITTANCE

Steps to C-PACE Financing

November 7th, 2019

6

Capital provider (CP) or VPA on behalf of County bills the Borrower typically semi-annually

7

CP or VPA collects C-PACE payment

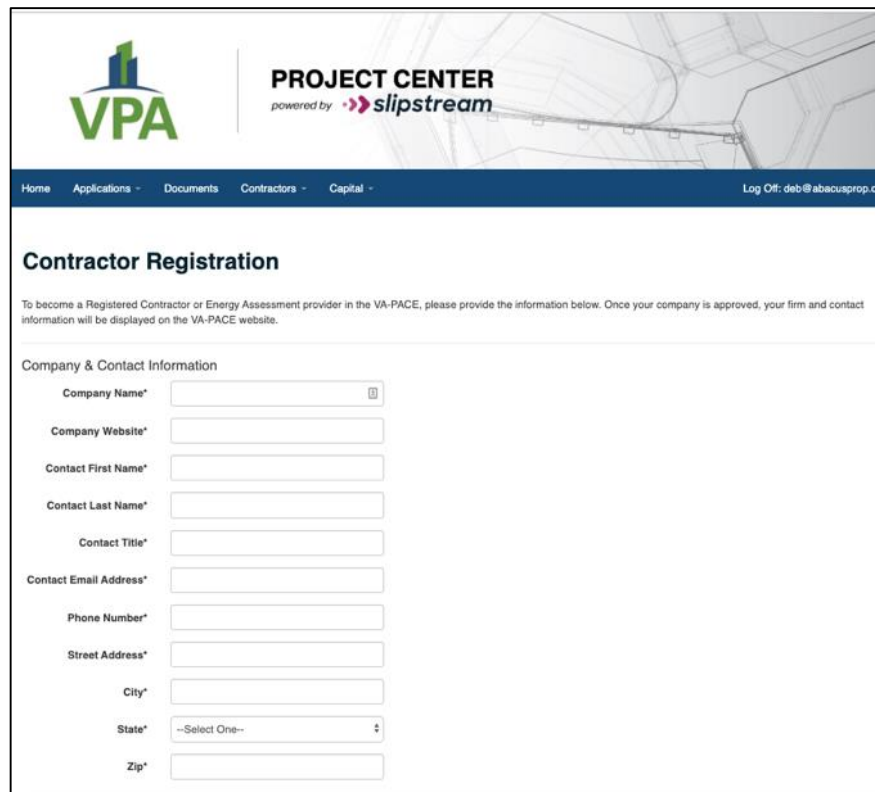
8

If VPA collects C-PACE payment, VPA remits C-PACE payment to CP

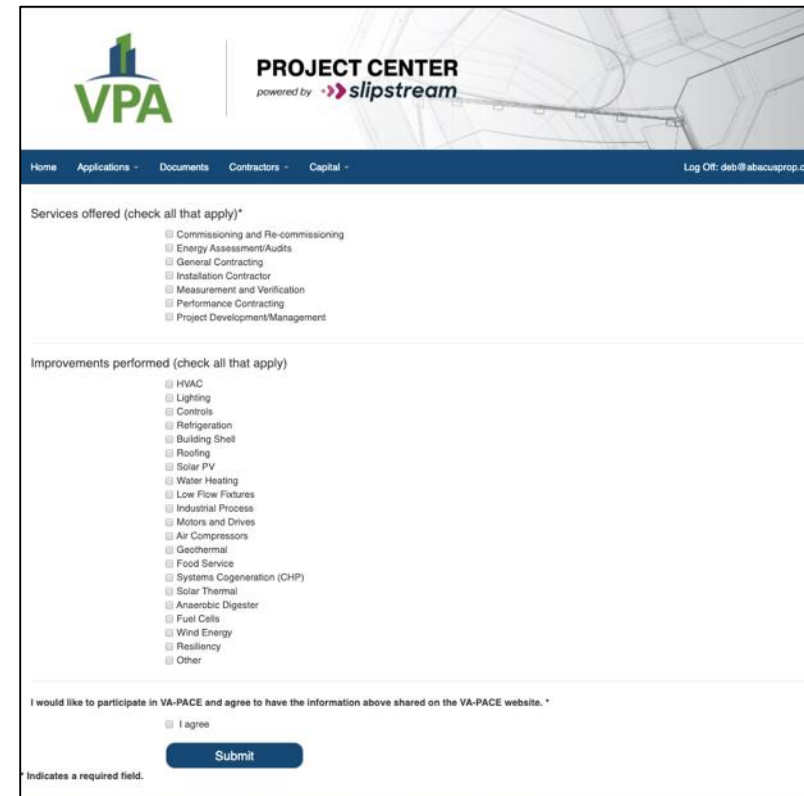
COLLECTION & REMITTANCE

Contractor Registration

November 7th, 2019



The screenshot shows the 'Contractor Registration' page. At the top is the VPA logo and 'PROJECT CENTER powered by slipstream'. A navigation bar includes links for Home, Applications, Documents, Contractors, and Capital, along with a 'Log Off' link. The main heading is 'Contractor Registration'. Below it, a paragraph explains the purpose of the registration. The form section, titled 'Company & Contact Information', contains several required fields marked with an asterisk: Company Name, Company Website, Contact First Name, Contact Last Name, Contact Title, Contact Email Address, Phone Number, Street Address, City, State (a dropdown menu), and Zip.





This screenshot shows the lower portion of the registration form. It features two sections of checkboxes for services and improvements. The 'Services offered' section lists: Commissioning and Re-commissioning, Energy Assessment/Audits, General Contracting, Installation Contractor, Measurement and Verification, Performance Contracting, and Project Development/Management. The 'Improvements performed' section lists: HVAC, Lighting, Controls, Refrigeration, Building Shell, Roofing, Solar PV, Water Heating, Low Flow Fixtures, Industrial Process, Motors and Drives, Air Compressors, Geothermal, Food Service, Systems Cogeneration (CHP), Solar Thermal, Anaerobic Digester, Fuel Cells, Wind Energy, Resiliency, and Other. Below these sections is a checkbox for 'I agree' to participate and share information, followed by a 'Submit' button. A footnote indicates that an asterisk denotes a required field.

COLLECTION & REMITTANCE

Capital Provider Registration

November 7th, 2019



PROJECT CENTER
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Home Applications Documents Contractors Capital Log Off: deb@abacusprop.com

PACE Capital Provider Registration

To become a PACE Capital Provider in the VA-PACE program, please provide the information below. Capital Providers must also submit an executed [PACE Capital Provider Request for Qualifications \(RFQ\)](#) and logo file. Once your institution is approved, information about your firm and designated point of contact will be displayed on the VA-PACE program website.

| | |
|---------------------------------|----------------------|
| Capital Provider Name* | <input type="text"/> |
| Website* | <input type="text"/> |
| Street Address* | <input type="text"/> |
| City* | <input type="text"/> |
| State* | --Select One-- |
| Zip* | <input type="text"/> |
| Minimum Financing Amount* | <input type="text"/> |
| Maximum Financing Amount* | <input type="text"/> |
| Contact First Name* | <input type="text"/> |
| Contact Last Name* | <input type="text"/> |
| Contact Title* | <input type="text"/> |
| Contact Email Address* | <input type="text"/> |
| Contact Phone Number* | <input type="text"/> |
| First Name of Signatory to RFQ* | <input type="text"/> |
| Last Name of Signatory to RFQ* | <input type="text"/> |
| Title of Signatory to RFQ* | <input type="text"/> |

To complete your application, please upload an executed version of the PACE Capital Provider RFQ and a file with the company logo that should be displayed on the VA-PACE program website.

Select Logo Image*

.jpg, .jpeg or .png file type with a maximum size of 100KB

PACE Capital Provider RFQ*

.pdf file type with a maximum size of 1MB

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Q & A

THANK YOU!

Contact Information

November 7th, 2019

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